



Dimensions to structural face. Do not scale from drawings. Please report any discrepancies to Nest Design. Any additional loads or changes in load conditions to be approved and assessed for adequacy and repaired or replaced where necessary. Contractor or person responsible for project to make thorough check of site and drainage and contact Building Control prior to commencement of any building work. Structural calculations to take precedence over notes and drawn information and depth of foundations, if applicable, are to be agreed with the Building Inspector.

CDM REGULATIONS 2015

The CDM Regulations are to do with minimising and designing out risk in the construction, demolition and maintenance of buildings and is enforced by the Health and Safety Executive (HSE). Prior to 2015 these regulations previously did not apply to domestic clients who were carrying out work on their home and only applied to commercial projects. Now, a domestic client having construction work carried out on their home will have to comply with the CDM Regulations and will also have certain legal duties. For more information visit <http://www.hse.gov.uk/construction/index.htm>.

THE ROLES AND RESPONSIBILITIES OF THE PRINCIPAL CONTRACTOR

Contractors appointed by the client to coordinate the construction phase of a project where it involves more than one contractor.

- Ensure that health and safety in the construction phase of a project is planned, managed, monitored and coordinated
- Ensure liaison between the client and principal designer
- Ensure the preparation of the construction phase plan
- Ensure the organising and cooperation between contractors and coordinating their work
- Ensure suitable site inductions are provided
- Ensure reasonable steps are taken to prevent unauthorised access
- Ensure workers are consulted and engaged in securing their health and safety
- Ensure welfare facilities are provided

The Principal Contractor is to ensure the preparation of the Construction Phase Plan, which needs to be sufficient to start construction on site and set out the first initial stages of a project.

The Client and the Principal Contractor are to ensure adequate welfare facilities are provided on site and maintained in accordance with HSE CDM Regulations 2015 - Schedule 2 - Minimum Welfare Facilities Required for Construction Sites P.63-65.

The Principal Contractor is to provide site security that is appropriate to the construction and have emergency procedures in place and ensure that they work.

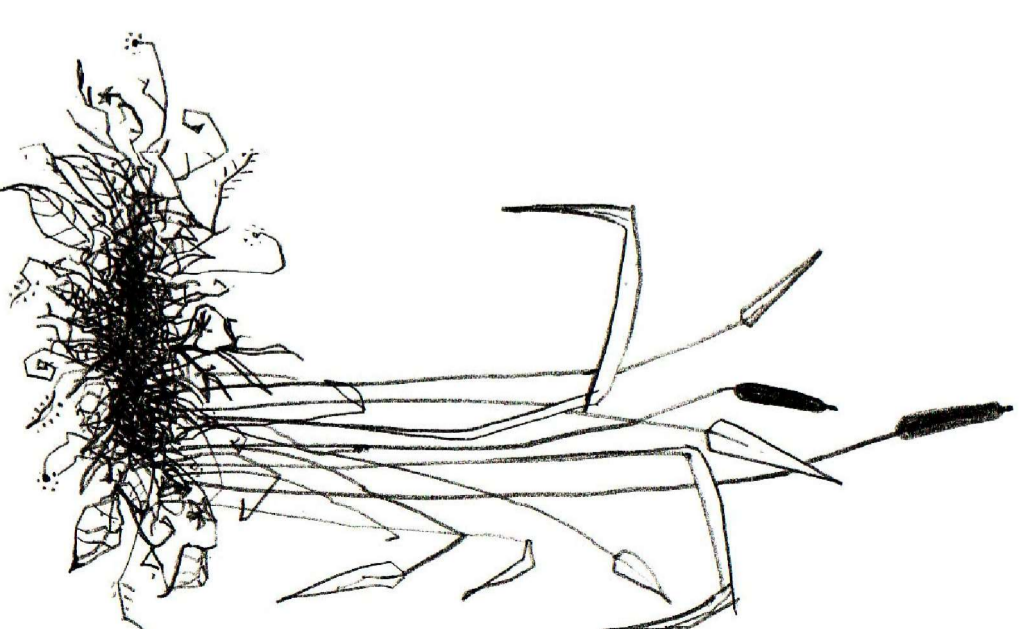
The Client and the Principal Contractor are to ensure that the health and safety of the site is protected throughout the construction phase. The Client must comply with HSE CDM Regulations 2015 - Part 4 - General Requirements for all Construction Sites P.50-56.

In accordance with the CDM Regulations the proposed work may need to be notified to the Health and Safety Executive by the Client by completing an F10 form. Notification will be required if the construction project, lasts longer than 30 days with more than 20 workers, working at the same time, or involving 500 person days of work.

HAZARD IDENTIFICATION LIST

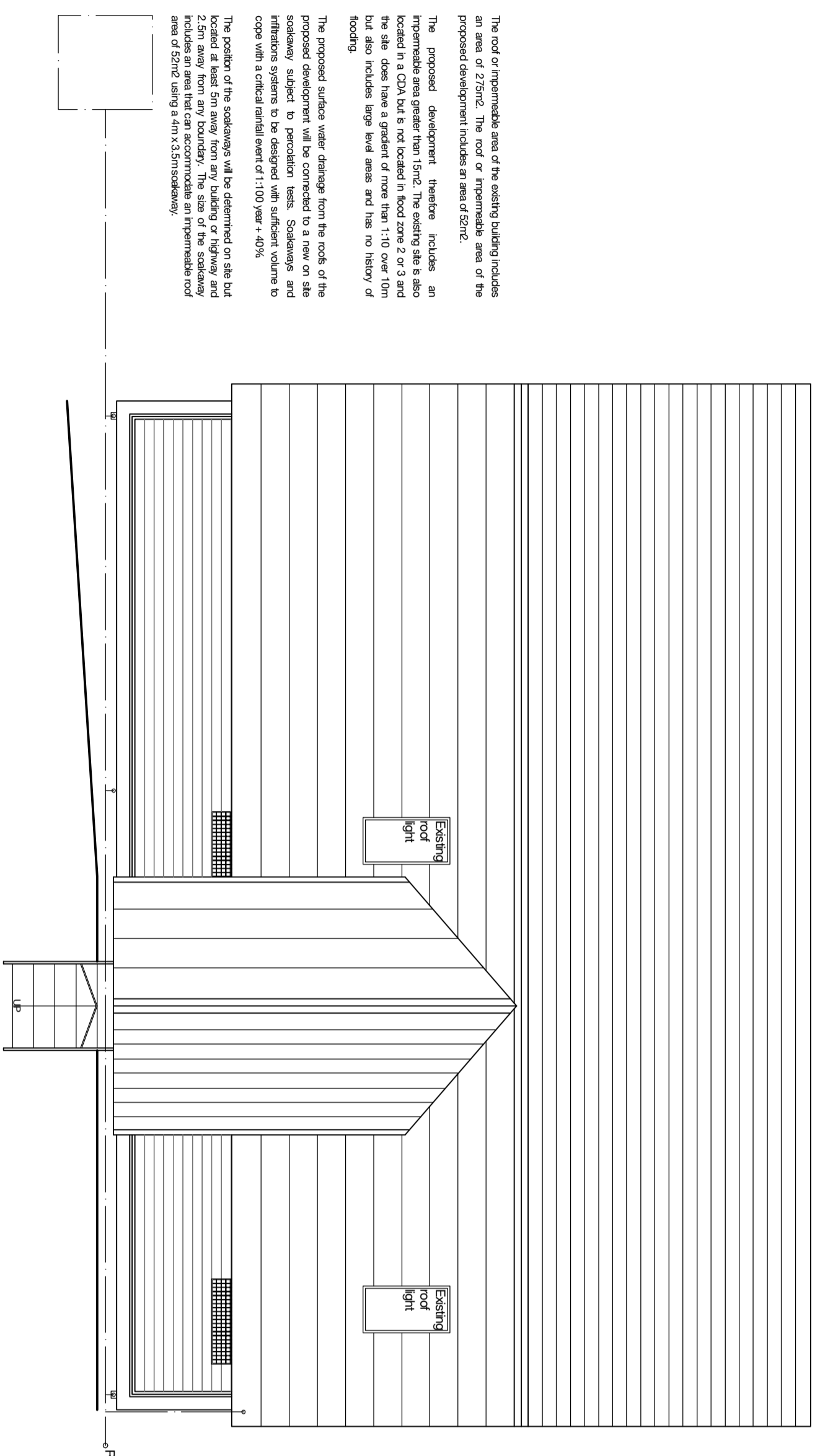
Are there any unique hazards? (Not including foreseeable risks that any competent contractor would be able to identify and be aware of).

Unique Site Hazards:	Relatively exposed site may be prone to strong gales
Unique Design Hazards:	Public building site and proposed building close to street car park
Unique Construction Hazards:	Creation of large springing voids over
How will they be addressed:	Analysis of building site used and analysis of slab health and safety



NEST DESIGN

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The roof or impermeable area of the existing building includes an area of 275m². The roof or impermeable area of the proposed development includes an area of 52m².

The proposed development therefore includes an impermeable area greater than 15m². The existing site is also located in a CDA but is not located in flood zone 2 or 3 and the site does have a gradient of more than 1:10 over 10m but also includes large level areas and has no history of flooding.

The proposed surface water drainage from the roof of the proposed development will be connected to a new on site soakaway subject to percolation tests. Soakaways and infiltration systems to be designed with sufficient volume to cope with a critical rainfall event of 1:100 Year + 40%

The position of the soakaways will be determined on site but located at least 5m away from any building or highway and 2m from any boundary. The soakaway will be constructed to include an area that can accommodate an impermeable roof area of 52m² using a 4m x 3.5m soakaway.

BR01

PROPOSED ROOF/SITE PLAN SCALE: 1:100 @ A2
RECREATION GROUND, MODBURY, DEVON, PL21 0FS REF: 011/MAR/BR01 DATE: 24/01/18