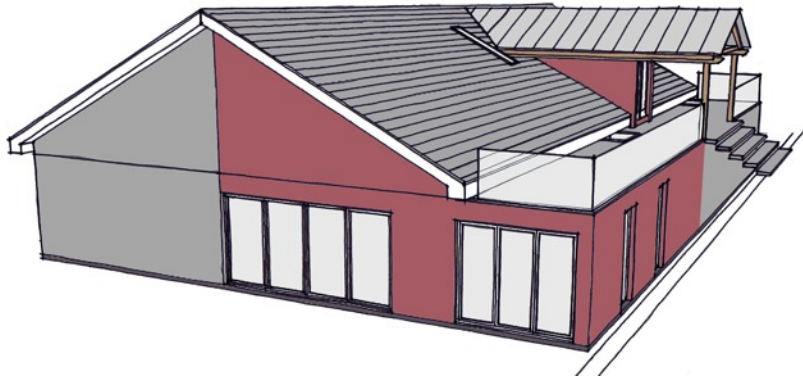


## SCHEDULE OF WORKS



Extension and Alterations at Modbury Recreation Ground, Modbury, Devon, PL21 0FS

The proposed works involve the extension and alterations of the existing sports pavilion building to create a larger function room, workshop and store with an external roof terrace that is partially covered above. The proposed extension also includes a new dormer entrance in to the existing loft storage space at: -

Modbury Recreation Ground  
Modbury  
Devon  
PL21 0FS

For

Modbury Parish Council

The project breaks into 3 distinct phases. Phase 1 is the single storey flat roofed extension adding storerooms, work shop and enlargement to the Hall. Phase 2 is the enhancement of the new flat roofed area to form a viewing terrace for spectators. Phase 3 is the addition of a Dormer roof extension with generous canopied roof and access to the existing building's roof space.

Tenders are requested for the entire project, albeit broken down into the 3 distinct phases. Modbury Parish Council are looking to award a contract for the entire project, or to the end of a specific phase dependent on available funding.

February 2019

Project Ref: 011/MAR

## **Contents**

Tender Introduction

Form of Tender

General Summary

Schedule of Works

## Tender Introduction

### Schedule of Works

This Schedule of Works is to be read as an addendum to the drawings. The purpose of this Schedule of Works is primarily to clarify the finished works etc. where not clearly defined on the drawings. Tenderers are to allow for all works described on the drawings and in this Schedule of Works as well as any works, which can reasonably be inferred as necessary to carry out and complete the works. Tenderers are to incorporate any works not already included within this Schedule of Works that they consider relevant and necessary for the proposed scheme.

Tenderers are advised to review the accompanying drawings, building regulation notes and structural engineers design drawings and specification in order to submit their tender price. Tenderers are advised to attend site and review the accompanying drawings, building regulation notes, structural engineers design drawings and specification and details to ensure that all works associated with the proposed scheme are included in this Schedule of Works.

### PC and Provisional Sums

The tenderers are to include in their tender for all of the PC and provisional sums as listed, including profit, attendance and overheads on all PC Sum items. The tenderers are to make due allowance in their tender sum and program for carrying out all of these works.

### Site Location and Access

Tenderers are advised to arrange to visit the site prior to pricing to ensure familiarity with the site and its constraints and ascertain exactly how this will affect their programme and preliminaries before submitting their tender. (Paul Romney - contact no. 07971 662944).

### Construction Design Management (CDM) 2015

The CDM Regulations are to do with minimising and designing out risk in the construction, demolition and maintenance of buildings and is enforced by the Health and Safety Executive (HSE). A commercial client having construction work carried out will have to comply with the CDM Regulations and will also have certain legal duties. For more information visit <http://www.hse.gov.uk/construction/index.htm>.

### The Roles and Responsibilities of The Principal Contractor

Contractors appointed by the client to coordinate the construction phase of a project where it involves more than one contractor.

- Ensure that health and safety in the construction phase of a project is planned, managed, monitored and coordinated
- Ensure liaison between the client and principal designer
- Ensure the preparation of the construction phase plan
- Ensure the organising and cooperation between contractors and coordinating their work
- Ensure suitable site inductions are provided
- Ensure reasonable steps are taken to prevent unauthorised access
- Ensure workers are consulted and engaged in securing their health and safety
- Ensure welfare facilities are provided

The Principal Contractor is to ensure the preparation of the Construction Phase Plan, which needs to be sufficient to 'start' construction on site and set out the first initial stages of a project.

The Client and the Principal Contractor are to ensure adequate welfare facilities are provided on site and maintained in accordance with HSE CDM Regulations 2015 - Schedule 2 - Minimum Welfare Facilities Required for Construction Sites P.63-65.

The Principal Contractor is to provide site security that is appropriate to the construction and have emergency procedures in place and ensure that they work.

The Client and the Principal Contractor are to ensure that the health and safety provisions that relate to work carried out on the construction site are in accordance with HSE CDM Regulations 2015 - Part 4 - General Requirements for all Construction Sites P.50-58.

In accordance with the CDM Regulations the proposed work may need to be notified to The Health and Safety Executive by the Client by completing an F10 form. Notification will be required if the construction project, lasts longer than 30 days with more than 20 workers, working at the same time, or involving 500 person days of work.

#### Protection and Security of Site

The building will continue to be occupied and used by the public during the proposed works. The successful Principal Contractor is expected to ensure all safety measures are in place to keep the public safe and maintain adequate weather protection and security as necessary to the works throughout the contract. Safety and security during the works is the sole responsibility of the successful Principal Contractor and adequate measures are to be taken.

#### Environmental Issues

Particular care is to be taken to ensure that all materials and working methods are environmentally friendly.

Take extreme care when stripping existing roof coverings and structures not to cause injury to any bats that may be found to be present. If any bats are found, stop work immediately and inform Nest Design.

Particular care is to be taken to ensure that all timber preservative treatments used, are wildlife friendly. Pre treatment preservatives for timber are to be of the copper/chrome/arsenic type (CCA), 'Tanalith' or equal. On site preservatives are to be of the Permetherin or Cypermetherin based type.

If expected asbestos or other harmful materials are found to be present on site, stop work immediately and inform Nest Design immediately so a risk assessment and any necessary surveys can be carried out prior to either continuing with construction work or allowing/employing a licensed contractor to remove the asbestos or other harmful material from site prior to continuing with construction work.

#### M & E Design

The general scope of works for the mechanical, electrical and sanitary ware and drainage installations are included within this Schedule of Works. The tenderers are to include in their tender sufficient allowances to complete the design of these installations as well as pricing the installation itself.

The tenderers are advised to attend site and establish the efficiency and output of the existing electrical and drainage installations and conclude whether they meet current regulations prior to pricing for any installation.

### Contract

The contract will be administered under the JCT Intermediate Building Contract with contractor's design (ICD) 2016.

### Tender Submissions

Tenderers must submit with their tender:

Completed Form of Tender  
Completed and Priced General Summary

The successful Principal Contractor will provide a completed and priced Schedule of Works prior to starting the project as well as a Construction Phase Plan in order to start the project.

### Project Particulars

The Client and the successful Principal Contractor are to ensure adequate welfare facilities are provided on site and maintained in accordance with HSE CDM Regulations 2015 - Schedule 2 - Minimum Welfare Facilities Required for Construction Sites P.63-65.

The successful contractor can use the toilets within the property if need be and the contractor can use the electricity and the telephone line within the property in relation to this proposed project only.

The successful contractor is to inform Building Control of the proposed project starting on site.

Form of Tender

To: Modbury Parish Council

c/o The Parish Clerk  
Modbury Parish Office  
2, Chatwell Lane  
Modbury  
Devon

PL21 0QA

Single storey rear extension with partially covered roof terrace above and dormer entrance.  
I/We have inspected the site and examined the Tender Documents relating to the above mentioned Works, hereby offer and undertake to construct the Works comprised in, or reasonably to be inferred from the said document to your entire satisfaction for the sum of (excluding VAT):-

\_\_\_\_\_ £ \_\_\_\_\_

I/We, undertake to complete the works within \_\_\_\_\_ working weeks from the date of possession and would commence work in \_\_\_\_\_ days notification.

I/We agree that this Tender is open for acceptance for a period of not more than 90 days from the date of this Tender. I/We understand that you do not bind yourself to accept the lowest or any tender.

Dated this \_\_\_\_\_ day of \_\_\_\_\_

Signature \_\_\_\_\_

Capacity in which signed \_\_\_\_\_

Full name of the firm or company \_\_\_\_\_

Address (for correspondence) \_\_\_\_\_

\_\_\_\_\_

Telephone No. \_\_\_\_\_

Email \_\_\_\_\_

Address of Registered Office \_\_\_\_\_

(if a Limited Company) \_\_\_\_\_

**Tender to be returned to the Parish Clerk at Modbury Parish Office, 2, Galpin Street, Modbury PL21 0QA.**

**Tender to be submitted in double envelopes with the inner envelope sealed and marked Modbury Sports Pavilion Extension Tender - Only to be opened by the Parish Clerk**

**The deadline for the returns of Tenders is set at 12 noon on Friday 12th April 2019**

## General Summary

**Cost (£)**

### **1.0 Ground Floor**

|      |  |       |
|------|--|-------|
| 1.1  | Demolitions and Alterations                  | ..... |
| 1.2  | Excavations and Sub-Structure                | ..... |
| 1.3  | Floors                                       | ..... |
| 1.4  | Walls  | ..... |
| 1.5  | Roof   | ..... |
| 1.6  | Doors and Windows (not including Lightwells) | ..... |
| 1.7  | Lightwells                                   | ..... |
| 1.8  | Fixtures & Fittings                          | ..... |
| 1.9  | Finishes                                     | ..... |
| 1.10 | Decorations                                  | ..... |
| 1.11 | Drainage and Plumbing Installations          | ..... |
| 1.12 | Heating Installation                         | ..... |
| 1.13 | Electrical Installation                      | ..... |
| 1.14 | Ventilation Installation                     | ..... |
| 1.15 | External Works                               | ..... |
| 1.16 | Contingency                                  | ..... |
|      | <b>Sub Total</b>                             | ..... |

### **2.0 Roof Terrace**

|     |                         |       |
|-----|-------------------------|-------|
| 2.1 | Decking                 | ..... |
| 2.2 | Balustrade              | ..... |
| 2.3 | Fixtures & Fittings     | ..... |
| 2.4 | Finishes                | ..... |
| 2.5 | Electrical Installation | ..... |
| 2.6 | External Works          | ..... |
| 2.7 | Contingency             | ..... |
|     | <b>Sub Total</b>        | ..... |

|            |   |       |
|------------|---|-------|
| <b>3.0</b> | <b>Dormer Access &amp; Roof Extension</b> |       |
| 3.1        | Demolitions and Alterations               | ..... |
| 3.2        | Floors                                    | ..... |
| 3.3        | Walls                                     | ..... |
| 3.4        | Roof                                      | ..... |
| 3.5        | Insulation                                | ..... |
| 3.6        | Doors and Windows                         | ..... |
| 3.7        | Fixtures & Fittings                       | ..... |
| 3.8        | Finishes                                  | ..... |
| 3.9        | Decorations                               | ..... |
| 3.10       | Drainage and Plumbing Installations       | ..... |
| 3.11       | Electrical Installation                   | ..... |
| 3.12       | Ventilation Installation                  | ..... |
| 3.13       | External Works                            | ..... |
| 3.14       | Contingency                               | ..... |
|            | <b>Sub Total</b>                          | ..... |
|            | Contractors Preliminaries                 | ..... |
|            | Contractors Overheads and Profit          | ..... |
|            | <b>Total to Form of Tender</b>            | ..... |